

OLD SCAGGSVILLE ROAD



CGC BUILDERS, LLC
8489 Heatherwold Drive
laurel, Maryland 20723
(301) 490-9171

LICENSE, REGISTRATION, OR CERTIFICATION

SAVE THIS PORTION OF CARD AND USE REVERSE SIDE FOR NAME AND/OR ADDRESS CHANGES. BOARD MUST BE NOTIFIED OF THESE CHANGES IMMEDIATELY.
 MARYLAND HOME IMPROVEMENT COMMISSION
 500 N. CALVERT STREET
 BALTIMORE, MD. 21202-3651

STATE OF MARYLAND
 DEPARTMENT OF LABOR, LICENSING AND REGULATION
 MARYLAND HOME IMPROVEMENT COMMISSION
 CERTIFIES THAT
STUART EDWARDS COLVIN
 IS AN AUTHORIZED
 CONTRACTOR/SALESMAN

STUART EDWARDS COLVIN
 CGC BUILDERS 01 71223
 8489 HEATHRWOLD DRIVE
 LAUREL MD 20723-0000

01 71223
 FOLD LINE
 LIC. REG. CERT. NO. 71223 EXPIRATION DATE 05-22-2003 EFFECTIVE DATE N/A CATEGORY 01
 LICENSE REGISTRATION, OR CERTIFICATION
 Parva N. Ganesalingam Kathleen Kennedy Fowles
 Lic. Council Lic. Council
 2693899

Maryland Home Builder Registration No.: 232

DRAWING INDEX

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SQUARE FOOTAGE

BASEMENT	380
FIRST FLOOR	1,177
SECOND FLOOR	870
TOTAL	2,427
OPT. GARAGE	690
OPT. OFFICE	511

JONATHAN P. BUTTS

ARCHITECTURAL DESIGNER

8418 BELDALE COURT
 BALTIMORE, MARYLAND 21236
 (410) 544-4587

JOHN L. SCHNEIDER, PE

STRUCTURAL ENGINEER

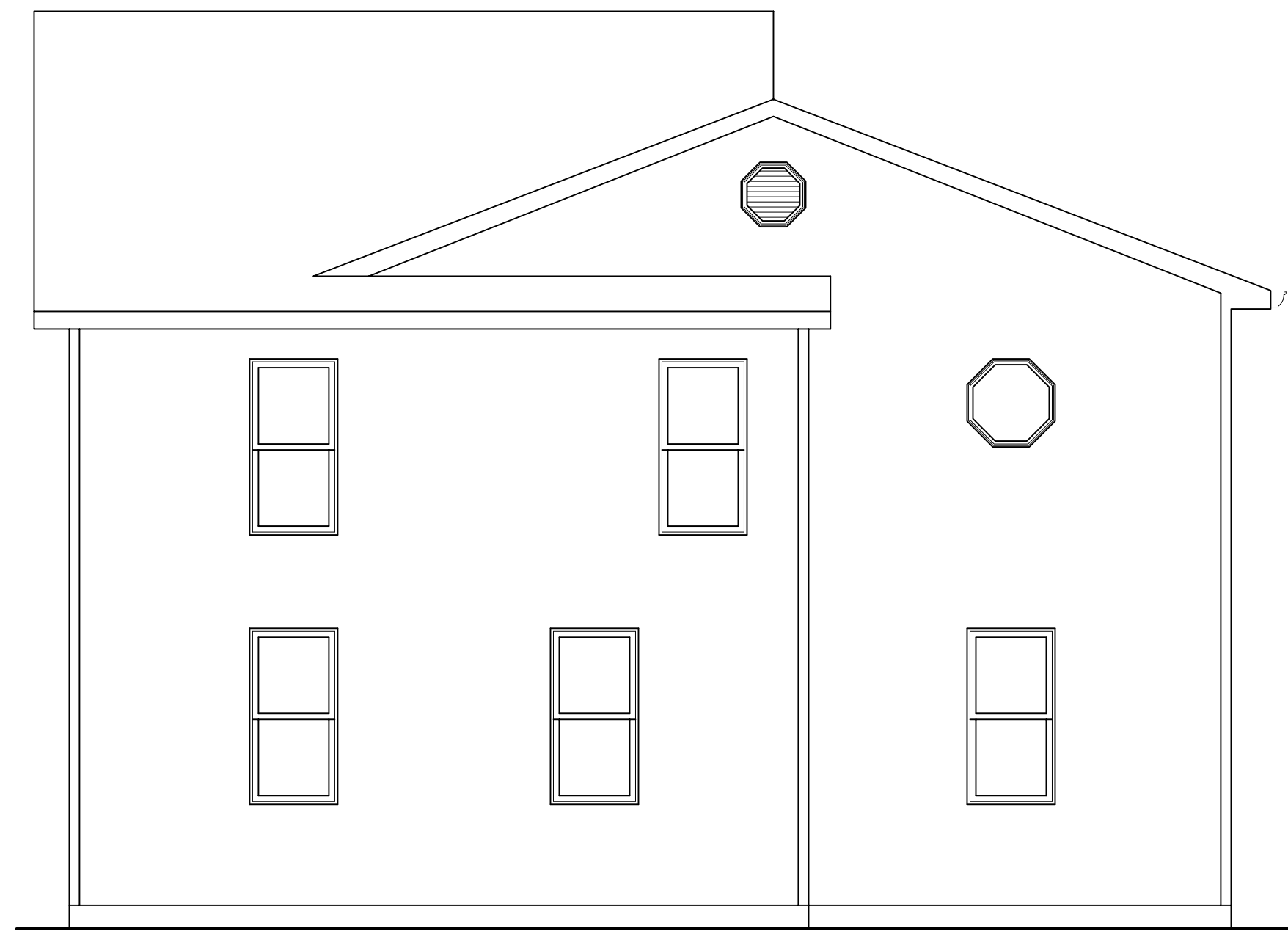
100 NORTH ROLLING ROAD
 CATONSVILLE, MARYLAND 21228
 (410) 744-1945

PERMIT/PRICING SET
 JULY 15, 2005



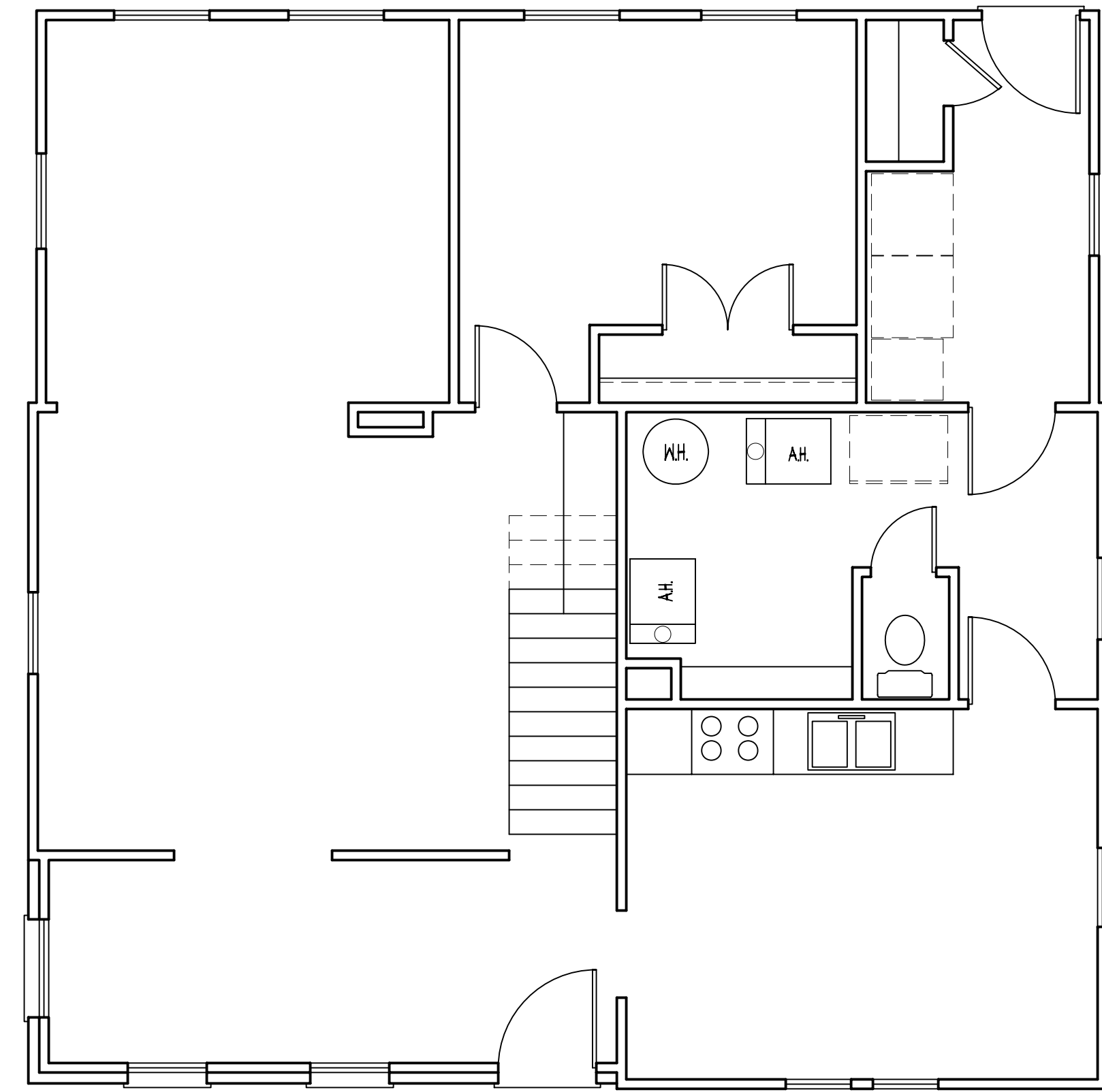
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



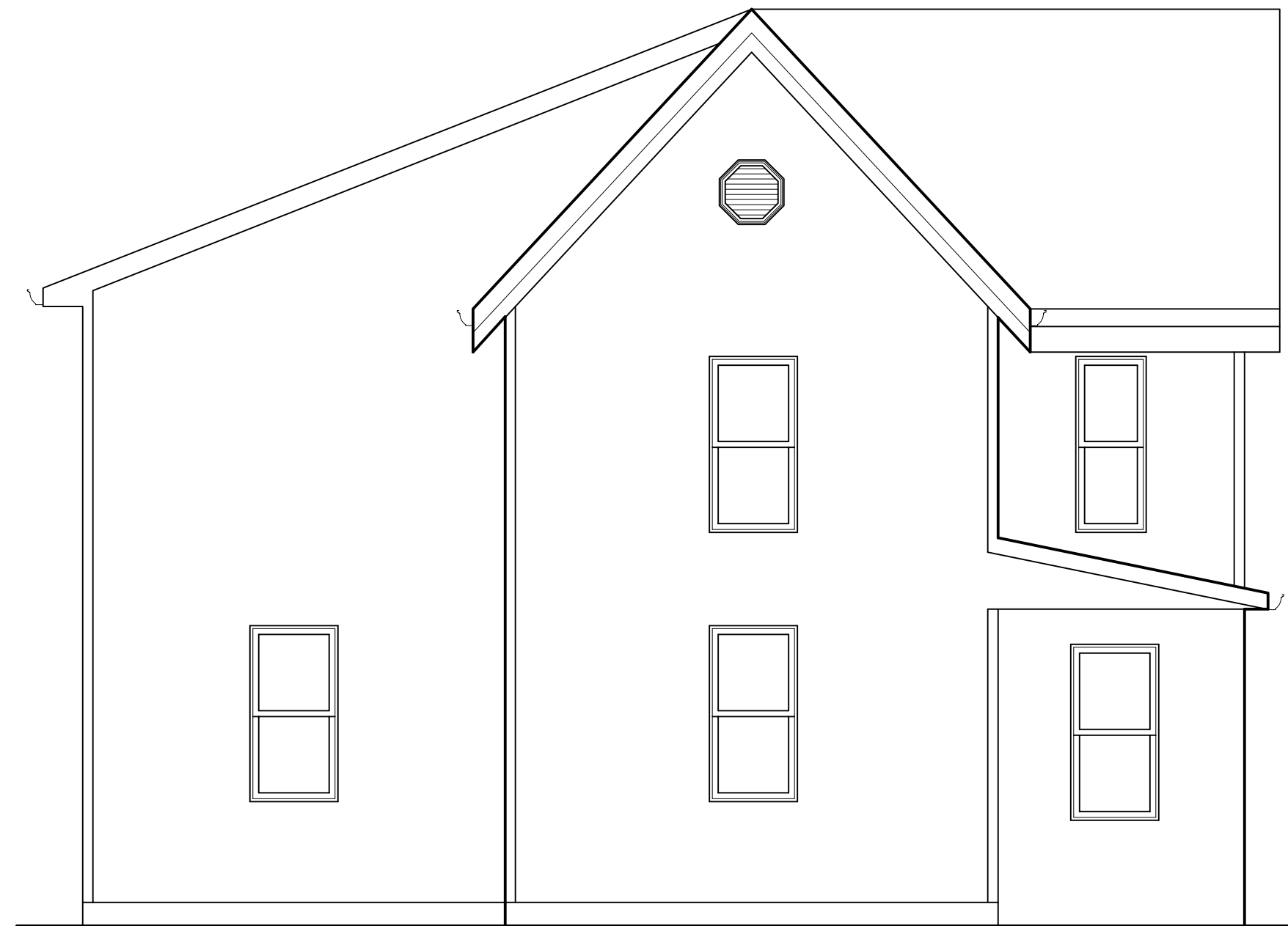
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



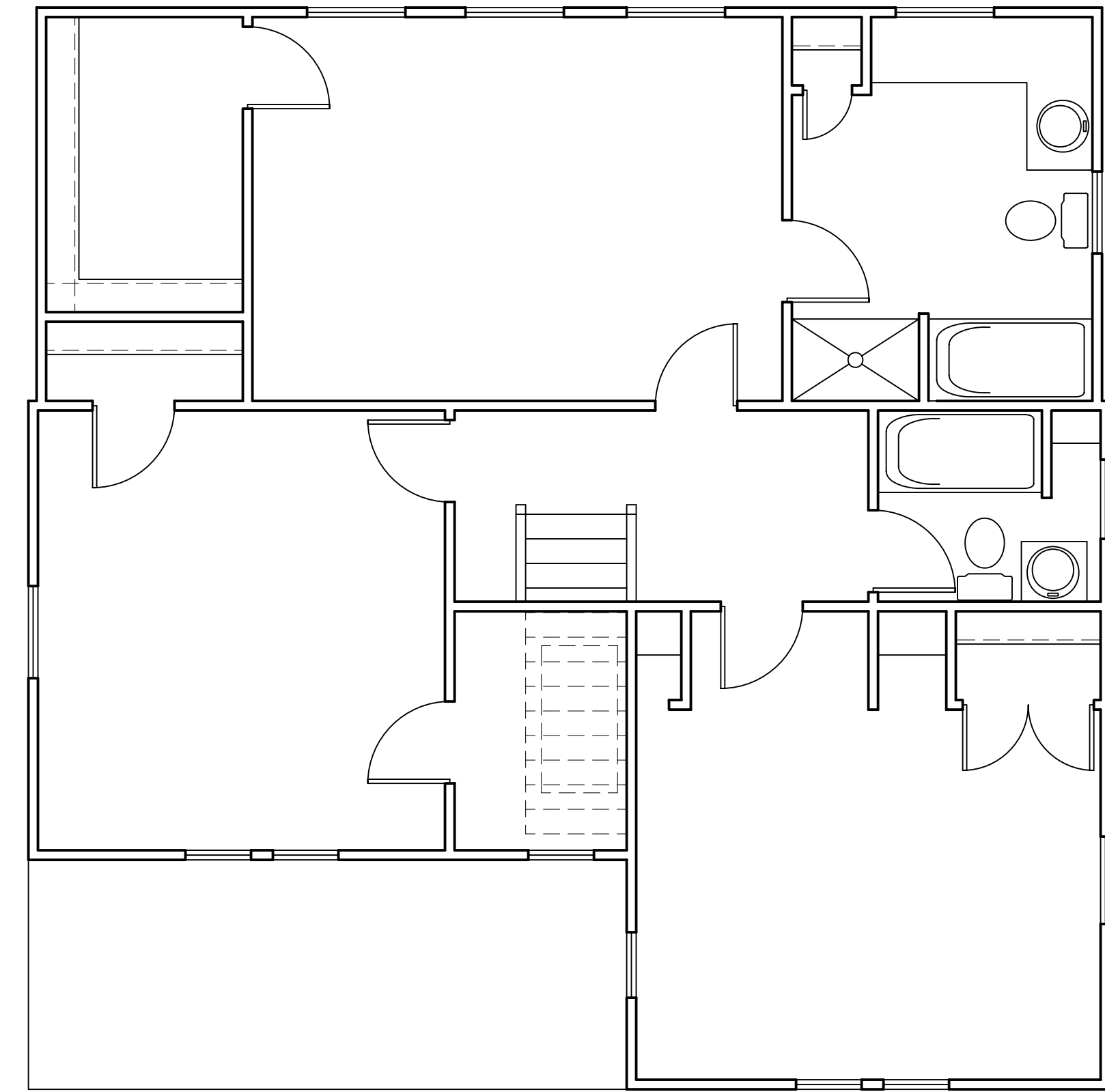
REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

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CGC BUILDERS, LLC
 Traditional Home Builders
 8489 Heatherwood Dr. • Laurel, MD 20723

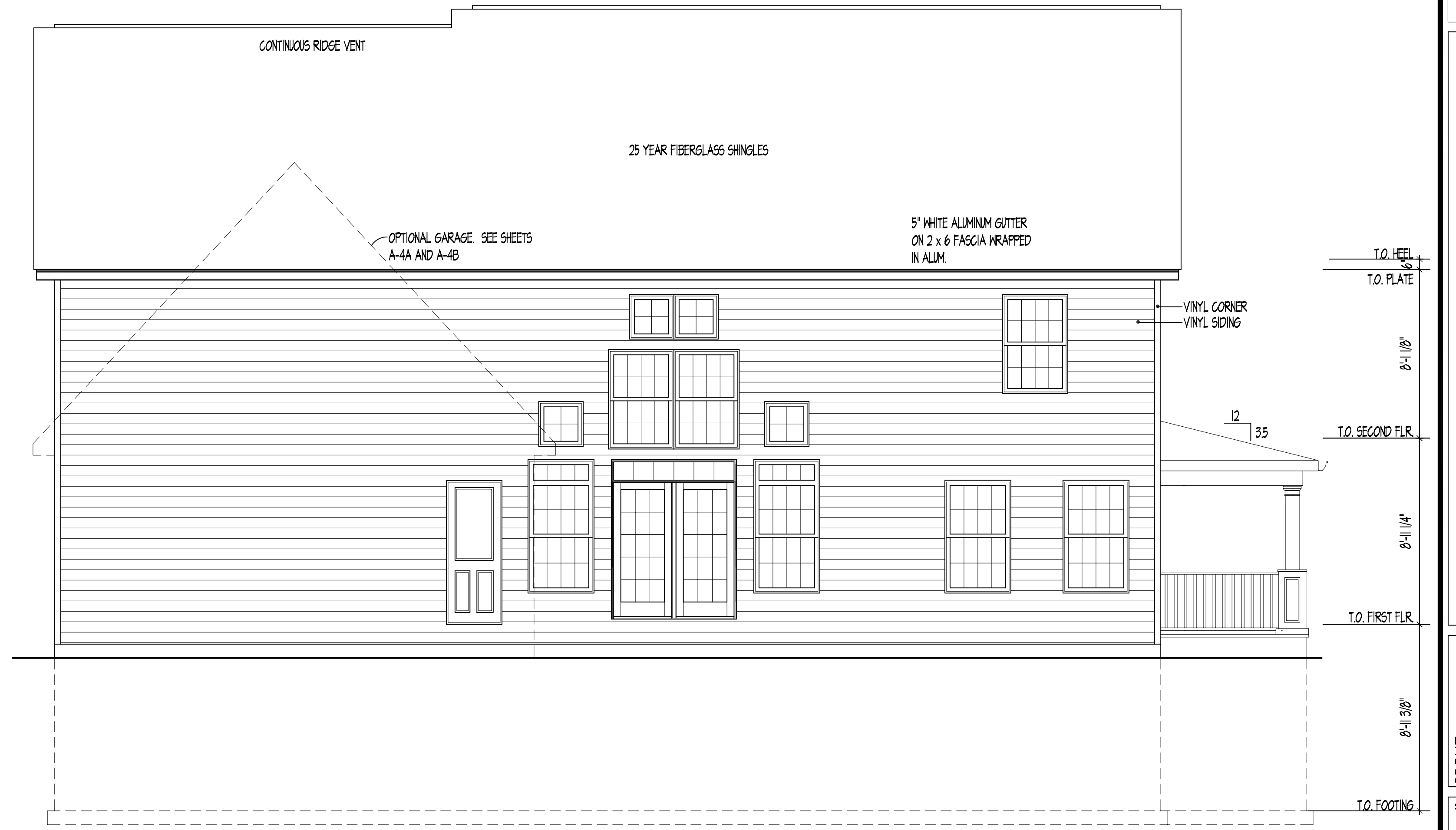
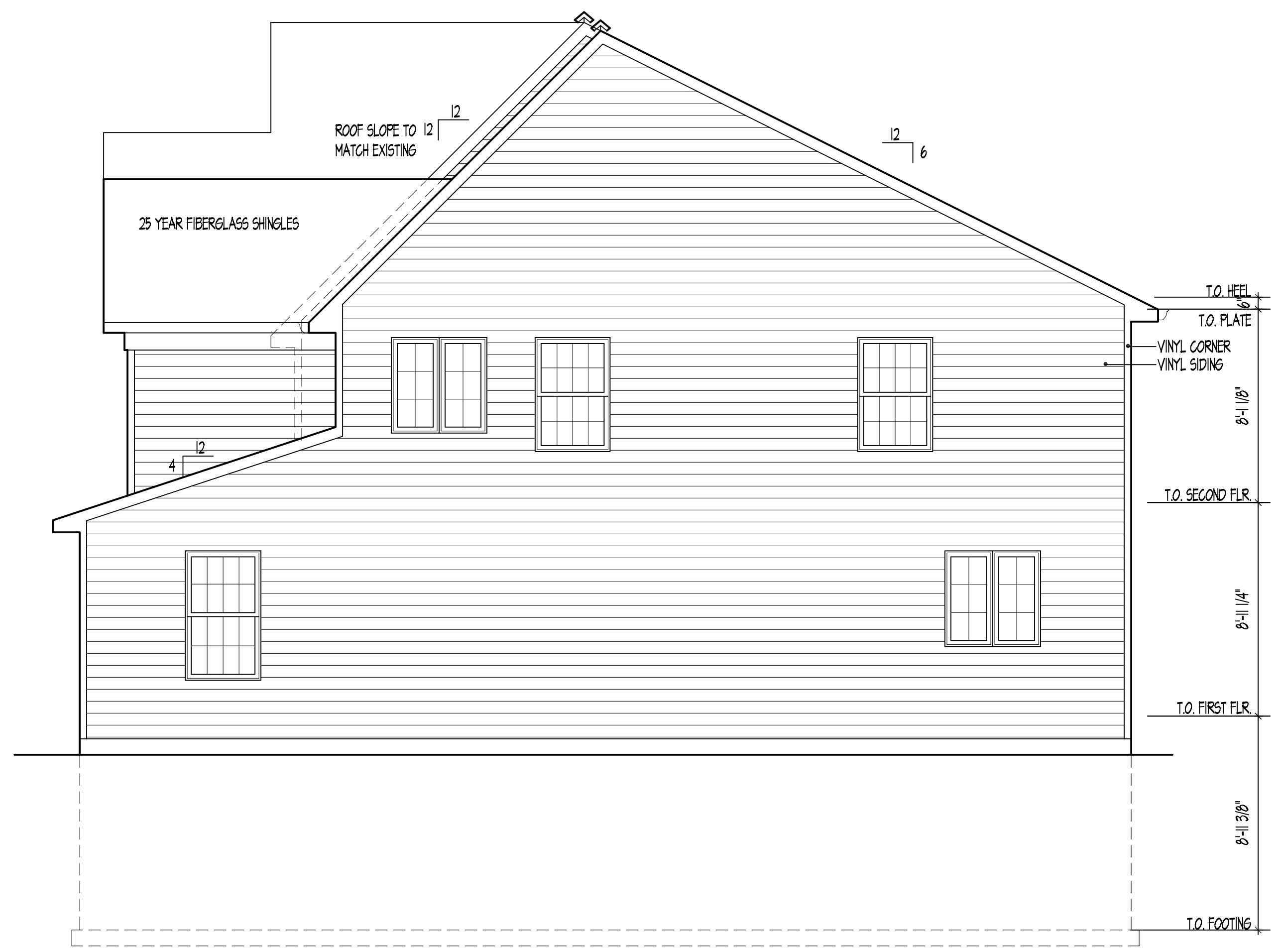
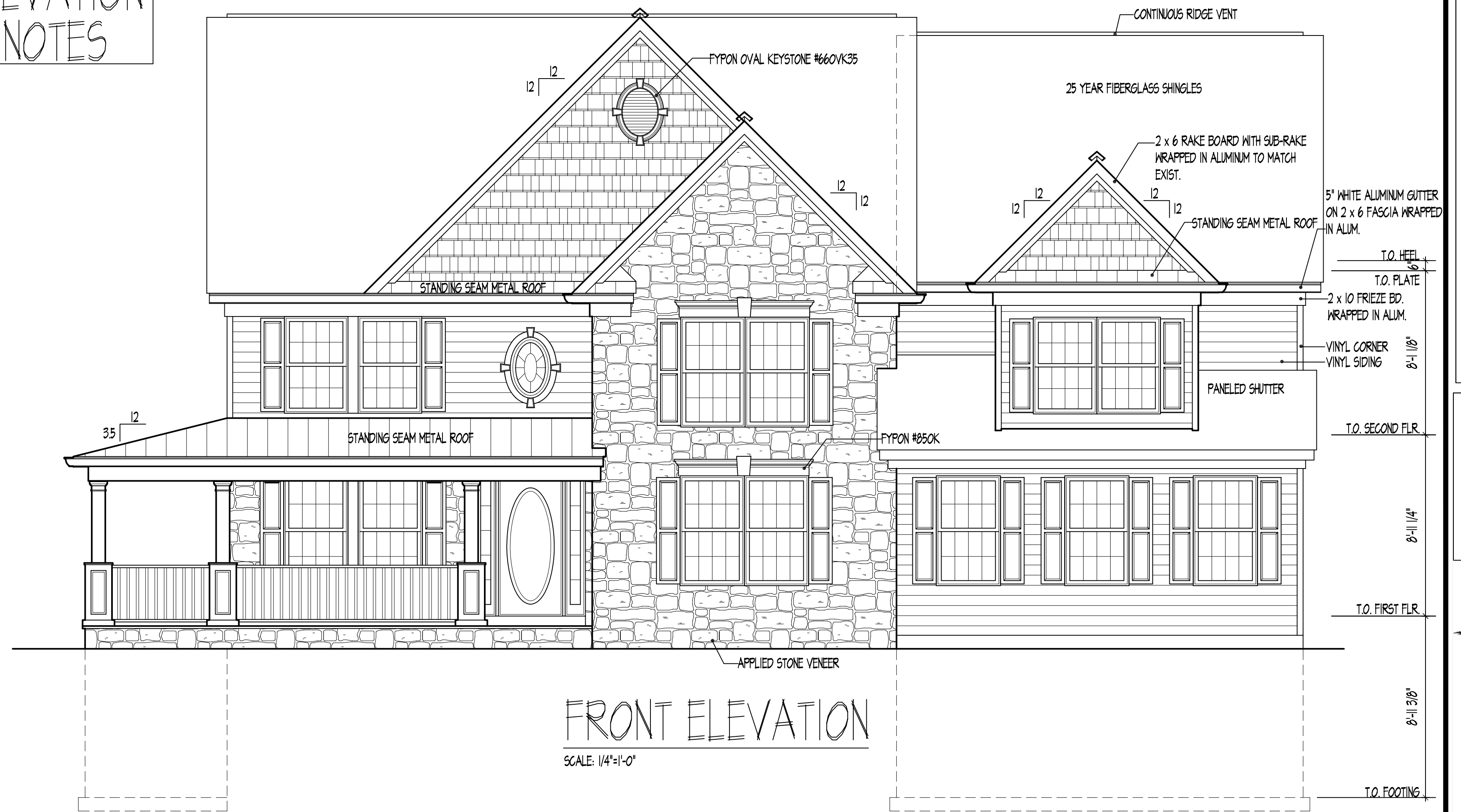
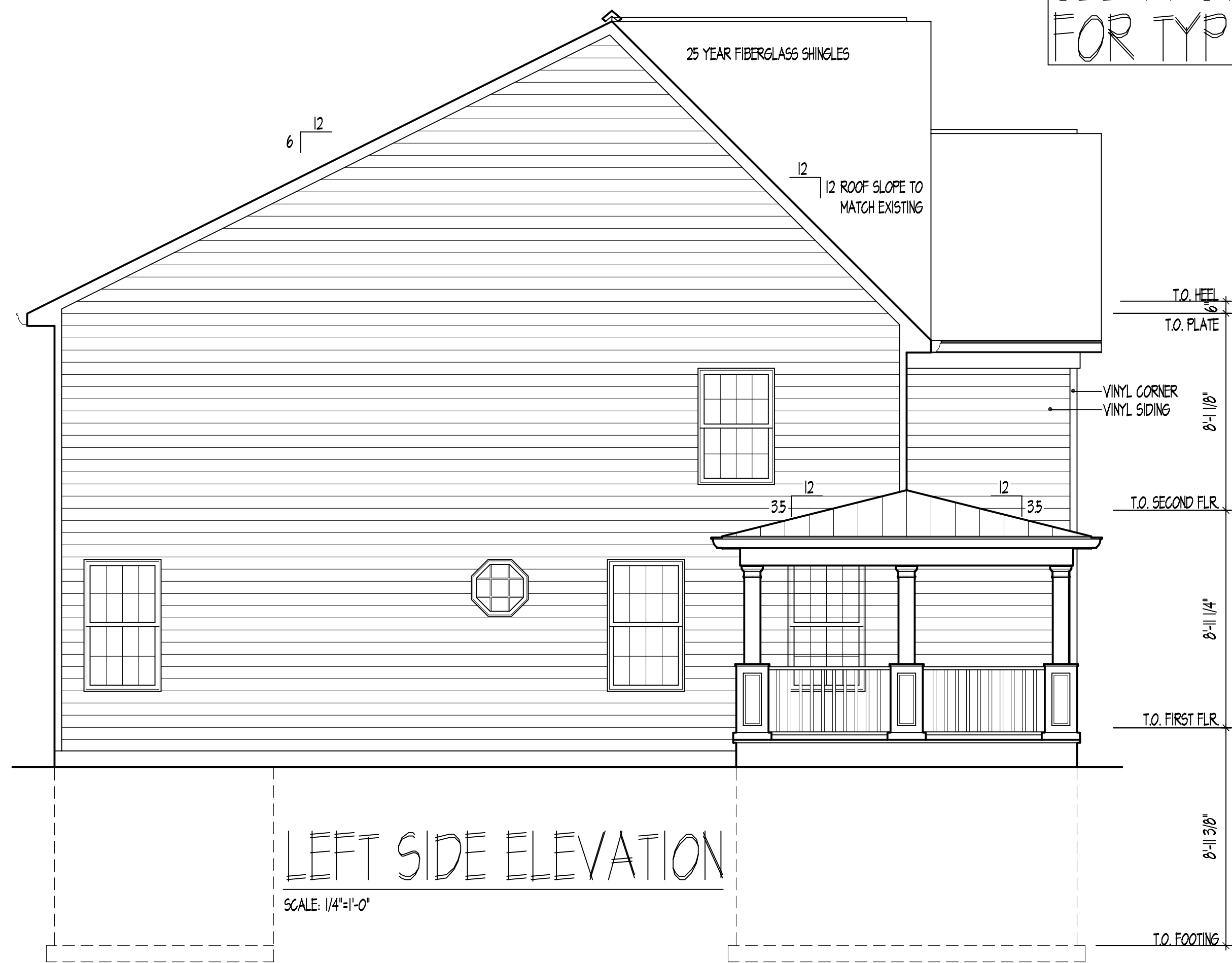
EXISTING PLANS AND ELEVATIONS
 SCALE: 1/4" = 1'-0" DATE: JUNE 12, 2008 DRAWN: PRJT. NO.
 OLD SCAGGSVILLE ROAD PROJECT TITLE

ISSUE	
DATE	
BY	
CHKD	
APP'D	
DATE	

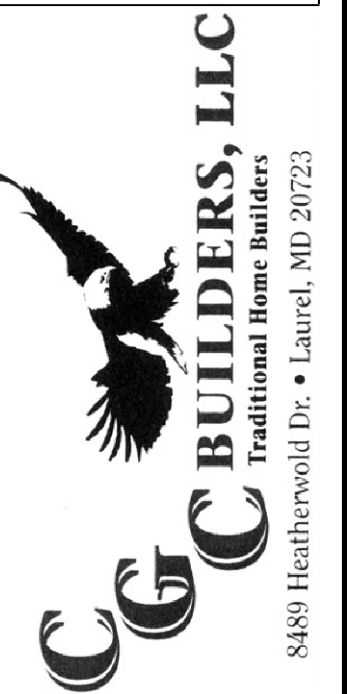
SHEET NO.

C-1

SEE FRONT ELEVATION FOR TYPICAL NOTES



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 BALTIMORE, MARYLAND 21206
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ELEVATIONS	
CONTENTS	PRJ.T. NO.
SCALE: 1/4" = 1'-0"	DATE: JUNE 12, 2003
DRWN.	DRWN.
OLD SCAGGSVILLE ROAD	
PROJECT TITLE	

ISSUE	DATE	BY

SHEET NO. **A=1**

FRAMING NOTES

- FLOOR FRAMING TO BE 2X10 FLOOR JOISTS AT 16" O.C. TYPICAL. HEM FIR #2 (N)
- DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"
- PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. & NOTED
- PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.
- OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARANCE.
- PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.
- PROVIDE BRIDGING AT MIDPOINT OF SPANS.
- PROVIDE 3" MINIMUM BEARING.
- FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW MANUFACTURER SPECIFICATIONS.

FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
SLEEPING AREAS
30 PSF LIVE, 10 PSF DEAD

HEM FIR #2			SPF #2		
SPACING	2x10	2x12	SPACING	2x10	2x12
12' O.C.	18'-6"	22'-6"	12' O.C.	19'-0"	23'-0"
16' O.C.	16'-10"	19'-8"	16' O.C.	17'-2"	19'-11"
19.2' O.C.	15'-6"	17'-1"	19.2' O.C.	15'-8"	18'-3"
24' O.C.	13'-10"	16'-1"	24' O.C.	14'-1"	16'-3"

FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
ALL AREAS OTHER THAN SLEEPING AREAS
40 PSF LIVE, 10 PSF DEAD

HEM FIR #2			SPF #2		
SPACING	2x10	2x12	SPACING	2x10	2x12
12' O.C.	16'-10"	20'-4"	12' O.C.	17'-3"	20'-7"
16' O.C.	15'-2"	17'-7"	16' O.C.	15'-5"	17'-10"
19.2' O.C.	13'-10"	16'-1"	19.2' O.C.	14'-1"	16'-3"
24' O.C.	12'-5"	14'-4"	24' O.C.	12'-7"	14'-7"

GENERAL NOTES:

- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN IRC 2000 TABLE R404.1(1) OR R404.1(2), TABLES R404.1(3) AND R404.1(4) AND SHALL ALSO COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION R402.2

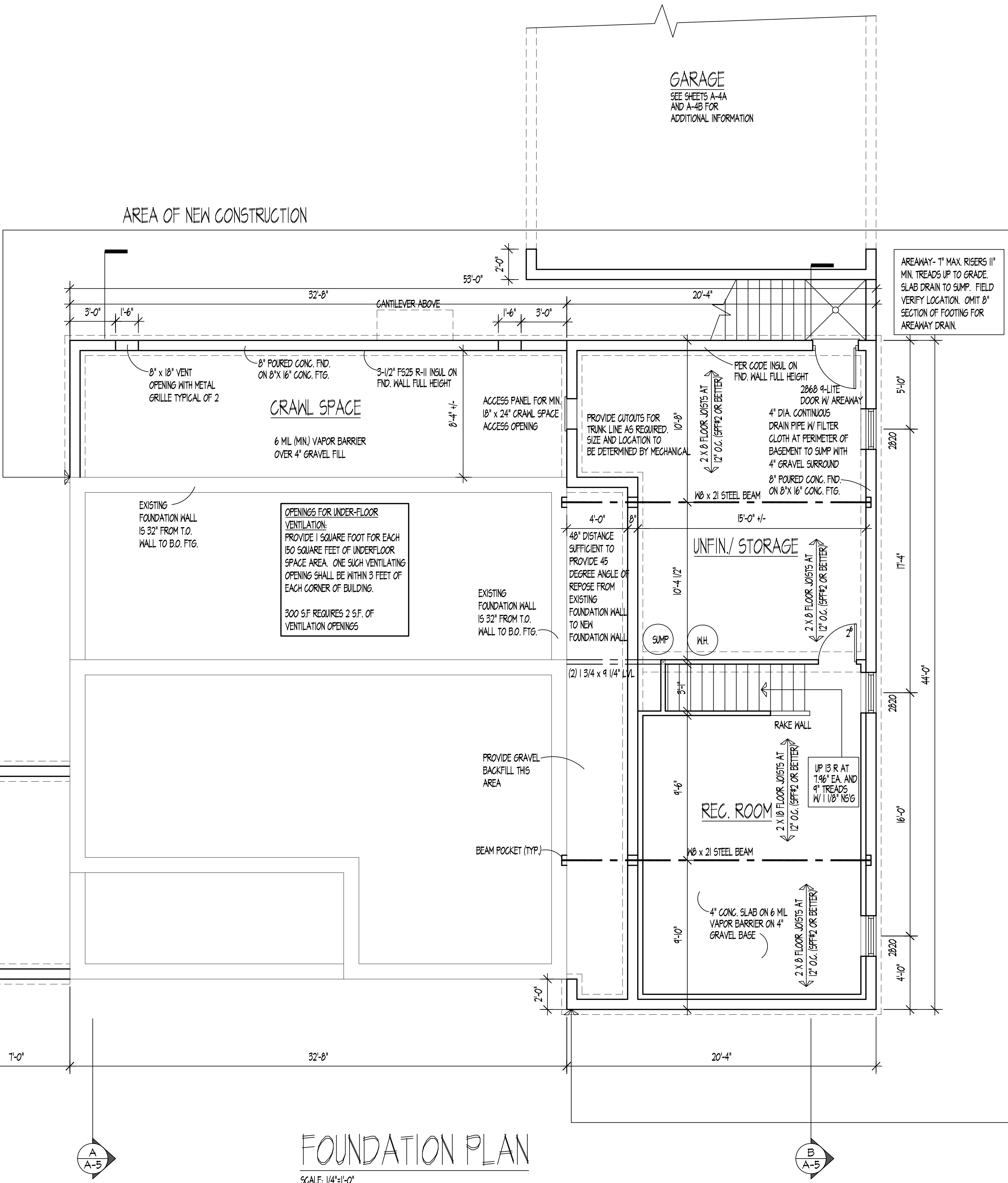
TABLE R404.1(1) REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 12" NOMINAL WALL THICKNESS		MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 16" NOMINAL WALL THICKNESS	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 20" NOMINAL WALL THICKNESS
		CONC. OR FRP	SPACING		
5	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
6	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
7	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
8	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
9	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6

TABLE R404.1(2) REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 12" NOMINAL WALL THICKNESS		MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 16" NOMINAL WALL THICKNESS	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING ^a FOR 20" NOMINAL WALL THICKNESS
		CONC. OR FRP	SPACING		
5	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
6	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
7	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
8	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6
9	0	6	6	6	6
	1	6	6	6	6
	2	6	6	6	6

- ALL FOUNDATION WALL ANCHORAGE SHALL COMPLY TO SECTION R403.1.6 OF THE 2000 IRC. PROVIDE WOOD SILL PLATE ANCHORED TO THE FOUNDATION WALL WITH ANCHOR BOLTS SPACED A MAX. OF 6'-0" O.C. ANCHOR BOLTS SHALL ALSO BE LOCATED WITHIN 1'-0" OF THE ENDS OF EACH PLATE SECTION. BOLTS SHALL BE MIN 1/2" DIA. AND SHALL EXTEND A MIN 1" INTO THE CONCRETE. INTERIOR BEARING WALL SILL PLATES ON SLAB FOUNDATIONS SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE.
- ALL FASTENERS AND CONNECTORS USED WITH TREATED LUMBER SHALL MEET ASTM B3, ASTM 663, CLASS 105.
- PROVIDE RADON CONTROL METHODS AS SET FORTH IN SECTION AF103.6.1, APPENDIX F OF 2000 IRC.
- ALL FRAMING AND FOUNDATION WORK TO BE ENGINEERED BY STRUCTURAL ENGINEER (JOHN SCHNEIDER, P.E.). ON SITE INSPECTIONS AND CERTIFICATION WILL BE PROVIDED DURING INSPECTIONS FOR FOUNDATION AND FRAMING, FLOOR TRUSSES AND ROOF TRUSSES TO BE ENGINEERED (BY 84 COMPONENTS) AND ALSO TO BE SUPPLIED BY MANUFACTURER FOR FRAMING INSPECTIONS.
- STRUCTURAL ENGINEER (JOHN SCHNEIDER, P.E.). TO BE ON SITE DURING EXCAVATION. SHORING OF FOUNDATION WALLS PER EXISTING GRADE CONDITIONS UNTIL BACKFILL IS PROVIDED.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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(410) 663-4066

GG BUILDERS, LLC
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8489 Heathrow Dr. • Laurel, MD 20723

FOUNDATION PLAN
DATE: JUNE 12, 2003
DRAWN: [Signature]
PROJECT TITLE: OLD SCAGGSVILLE ROAD

CONTENTS: [Table with 2 columns: Description, Quantity]
SCALE: 1/4" = 1'-0"

ISSUE	DATE	BY	DESCRIPTION
1	06/12/03	JPB	ISSUED FOR PERMITS
2	07/08/03	JPB	FIELD REVISIONS

SHEET NO. **A-2**

FRAMING NOTES

- FLOOR FRAMING TO BE 2X10 FLOOR JOISTS AT 16" O.C. TYPICAL. HEM FIR #2 (N)
- DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"
- PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. & NOTED
- PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.
- OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARANCE.
- PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.
- PROVIDE BRIDGING AT MIDPOINT OF SPANS.
- PROVIDE 3" MINIMUM BEARING.
- FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW MANUFACTURER'S SPECIFICATIONS.

FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
SLEEPING AREAS
30 PSF LIVE, 10 PSF DEAD

HEM FIR #2

SPACING	2x10	2x12
12" O.C.	18'-6"	22'-6"
16" O.C.	16'-10"	19'-8"
19.2" O.C.	15'-6"	17'-1"
24" O.C.	13'-10"	16'-1"

SPF #2

SPACING	2x10	2x12
12" O.C.	19'-0"	23'-0"
16" O.C.	17'-2"	19'-11"
19.2" O.C.	15'-8"	18'-3"
24" O.C.	14'-1"	16'-3"

FLOOR JOIST SPAN CHART

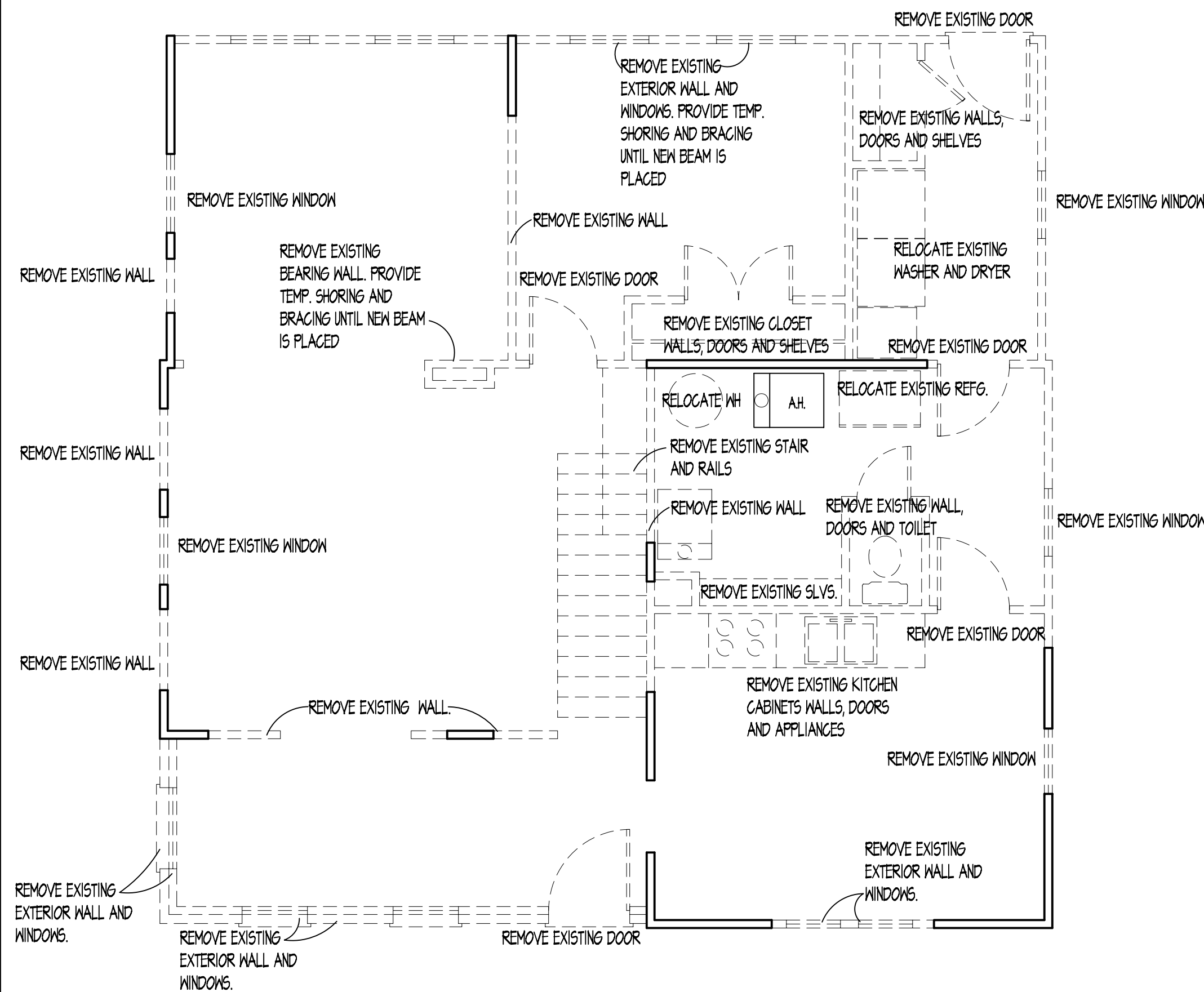
INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
ALL AREAS OTHER THAN SLEEPING AREAS
40 PSF LIVE, 10 PSF DEAD

HEM FIR #2

SPACING	2x10	2x12
12" O.C.	16'-10"	20'-4"
16" O.C.	15'-2"	17'-7"
19.2" O.C.	13'-10"	16'-1"
24" O.C.	12'-5"	14'-4"

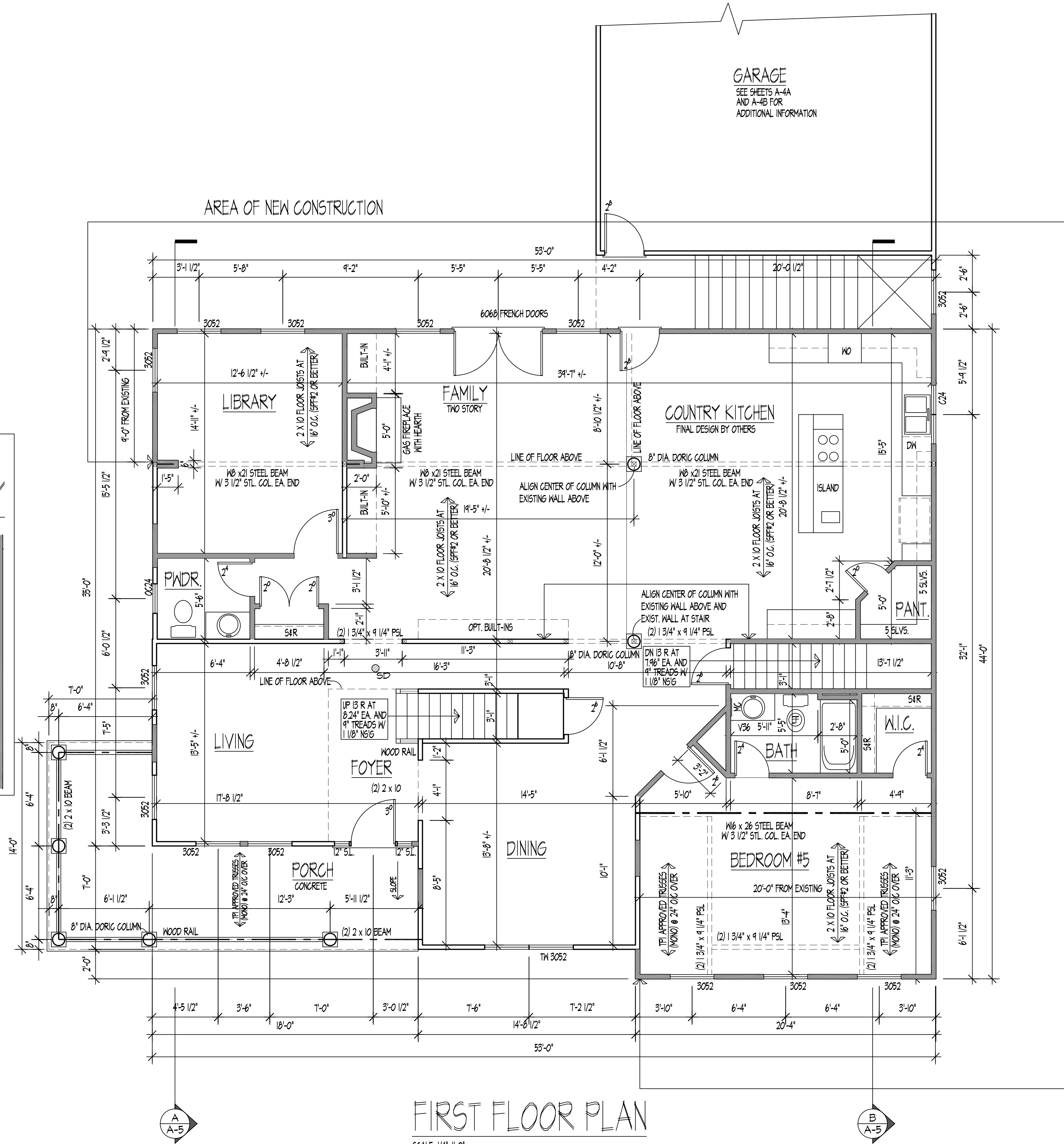
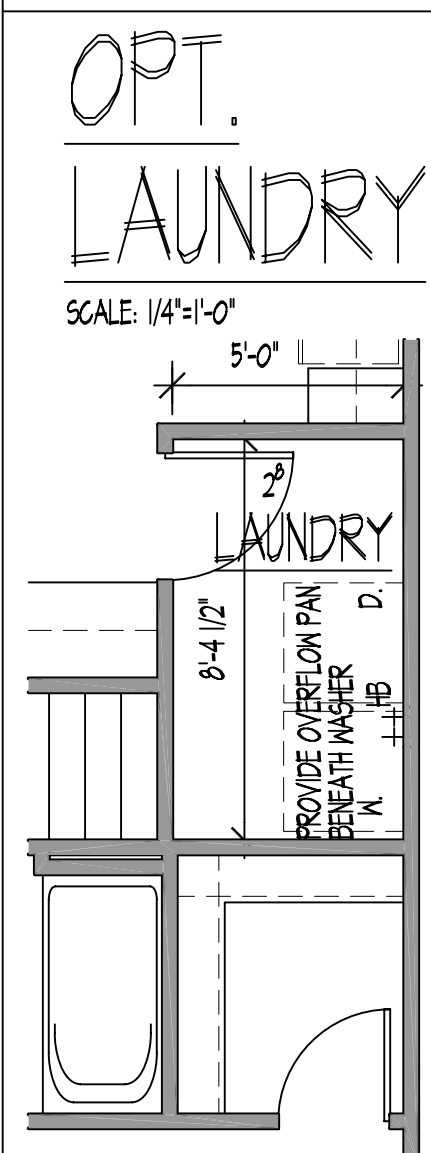
SPF #2

SPACING	2x10	2x12
12" O.C.	17'-3"	20'-7"
16" O.C.	15'-5"	17'-10"
19.2" O.C.	14'-1"	16'-3"
24" O.C.	12'-7"	14'-7"



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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FIRST FLOOR PLAN/DEMO PLAN
DATE: JUNE 12, 2003
SCALE: 1/4" = 1'-0"
PROJECT TITLE: OLD SCAGGSVILLE ROAD

ISSUE	DATE	BY	CHKD
ISSUE			
ISSUE			
ISSUE			
ISSUE			

SHEET NO.

A-3

FRAMING NOTES

- FLOOR FRAMING TO BE 2X10 FLOOR JOISTS AT 16" O.C. TYPICAL. HEM FIR #2 (N)
- DOUBLE FLOOR JOISTS UNDER ALL WALLS LONGER THAN 4'-0"
- PROVIDE APPROVED STEEL JOIST HANGERS WHERE REQ'D. & NOTED.
- PROVIDE SOLID BLOCKING AT ALL BEARING POINTS IN THE FLOOR SYSTEM.
- OFFSET FLOOR JOISTS AT ALL W.C. LOCATIONS TO PROVIDE ADEQUATE CLEARANCE.
- PROVIDE DOUBLE HEADERS AND DOUBLE TRIMMERS AT ALL FLOOR OPENINGS.
- PROVIDE BRIDGING AT MIDPOINT OF SPANS.
- PROVIDE 3" MINIMUM BEARING.
- FOR ENGINEERED AND MANUFACTURED FLOOR SYSTEMS, FOLLOW MANUFACTURER SPECIFICATIONS.

FLOOR JOIST SPAN CHART

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
SLEEPING AREAS
30 PSF LIVE, 10 PSF DEAD

HEM FIR #2

SPACING	2x10	2x12
12" O.C.	18'-6"	22'-6"
16" O.C.	16'-0"	19'-8"
19.2" O.C.	15'-6"	17'-1"
24" O.C.	13'-0"	16'-1"

SPF #2

SPACING	2x10	2x12
12" O.C.	19'-0"	23'-0"
16" O.C.	17'-2"	19'-11"
19.2" O.C.	15'-8"	18'-3"
24" O.C.	14'-1"	16'-3"

FLOOR JOIST SPAN CHART

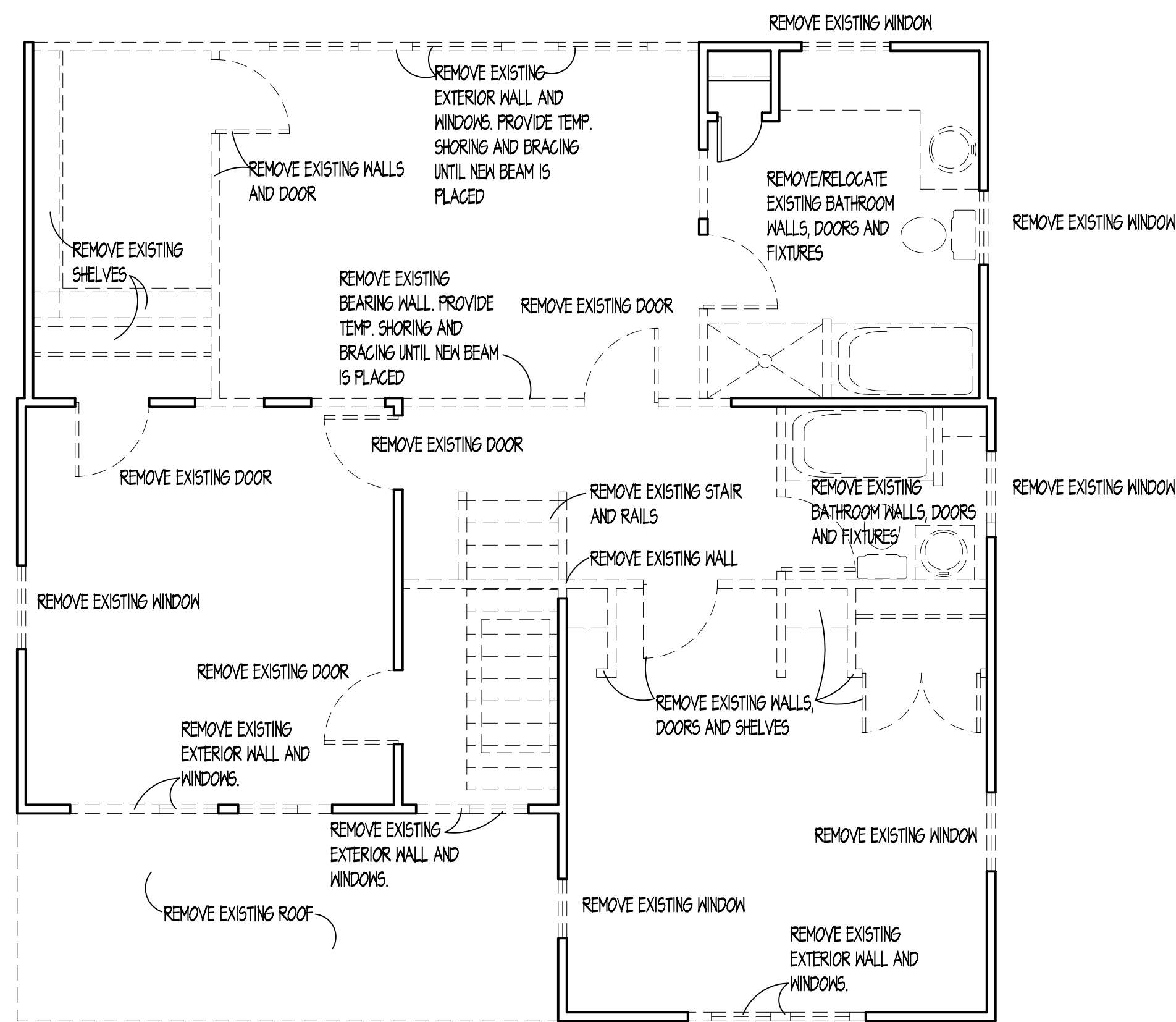
INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2000
ALL AREAS OTHER THAN SLEEPING AREAS
40 PSF LIVE, 10 PSF DEAD

HEM FIR #2

SPACING	2x10	2x12
12" O.C.	16'-0"	20'-4"
16" O.C.	15'-2"	17'-7"
19.2" O.C.	13'-10"	16'-1"
24" O.C.	12'-5"	14'-4"

SPF #2

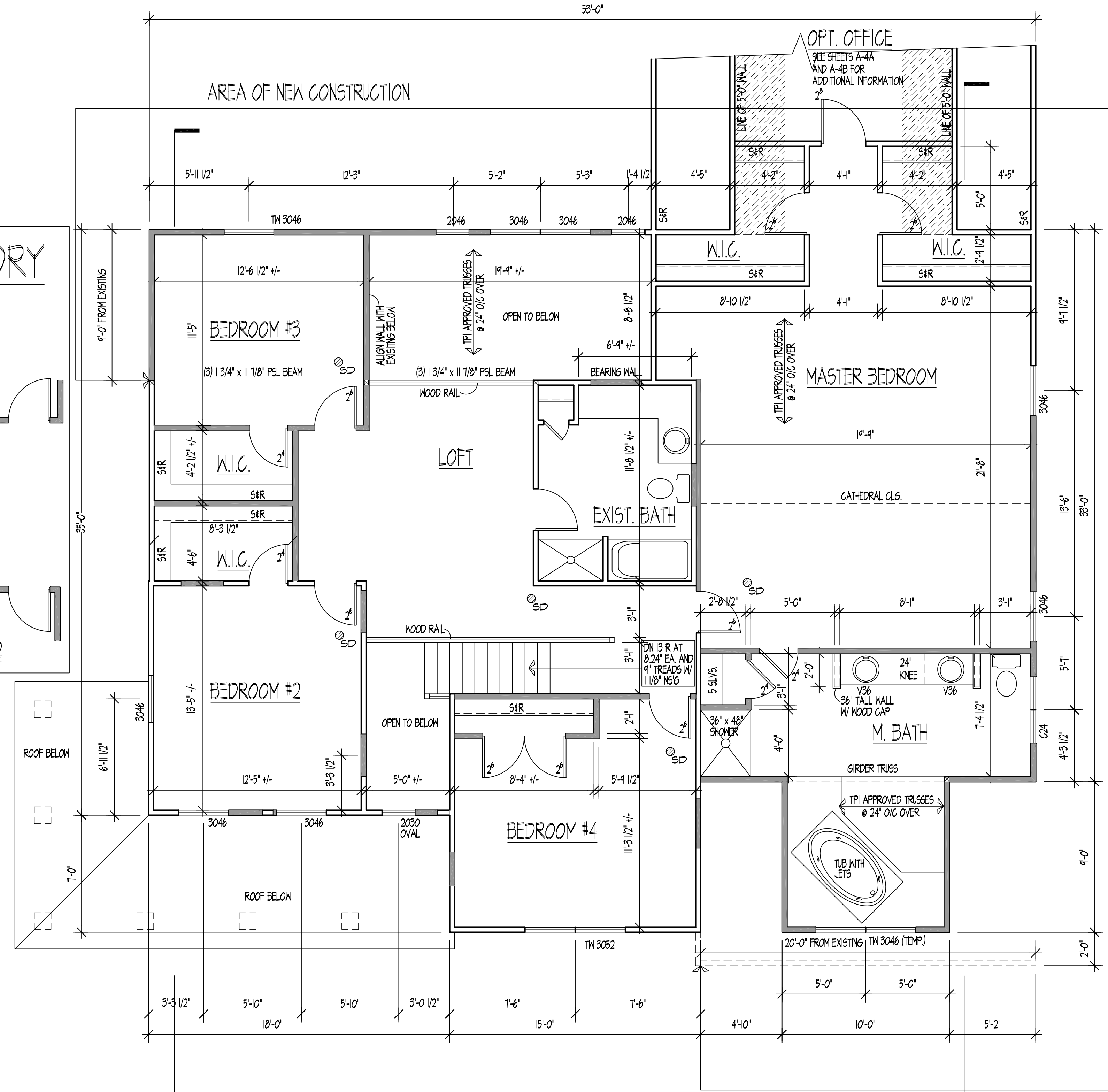
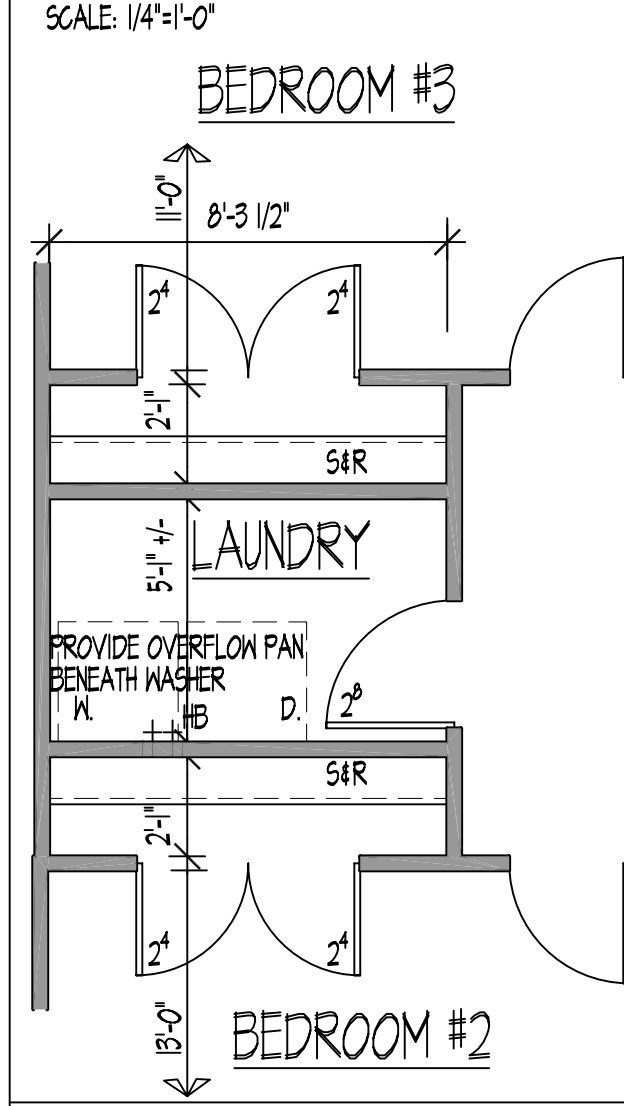
SPACING	2x10	2x12
12" O.C.	17'-3"	20'-7"
16" O.C.	15'-5"	17'-10"
19.2" O.C.	14'-1"	16'-3"
24" O.C.	12'-7"	14'-7"



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

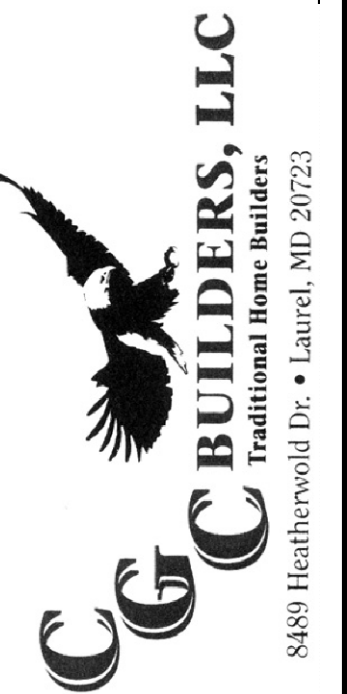
OPT. LAUNDRY



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

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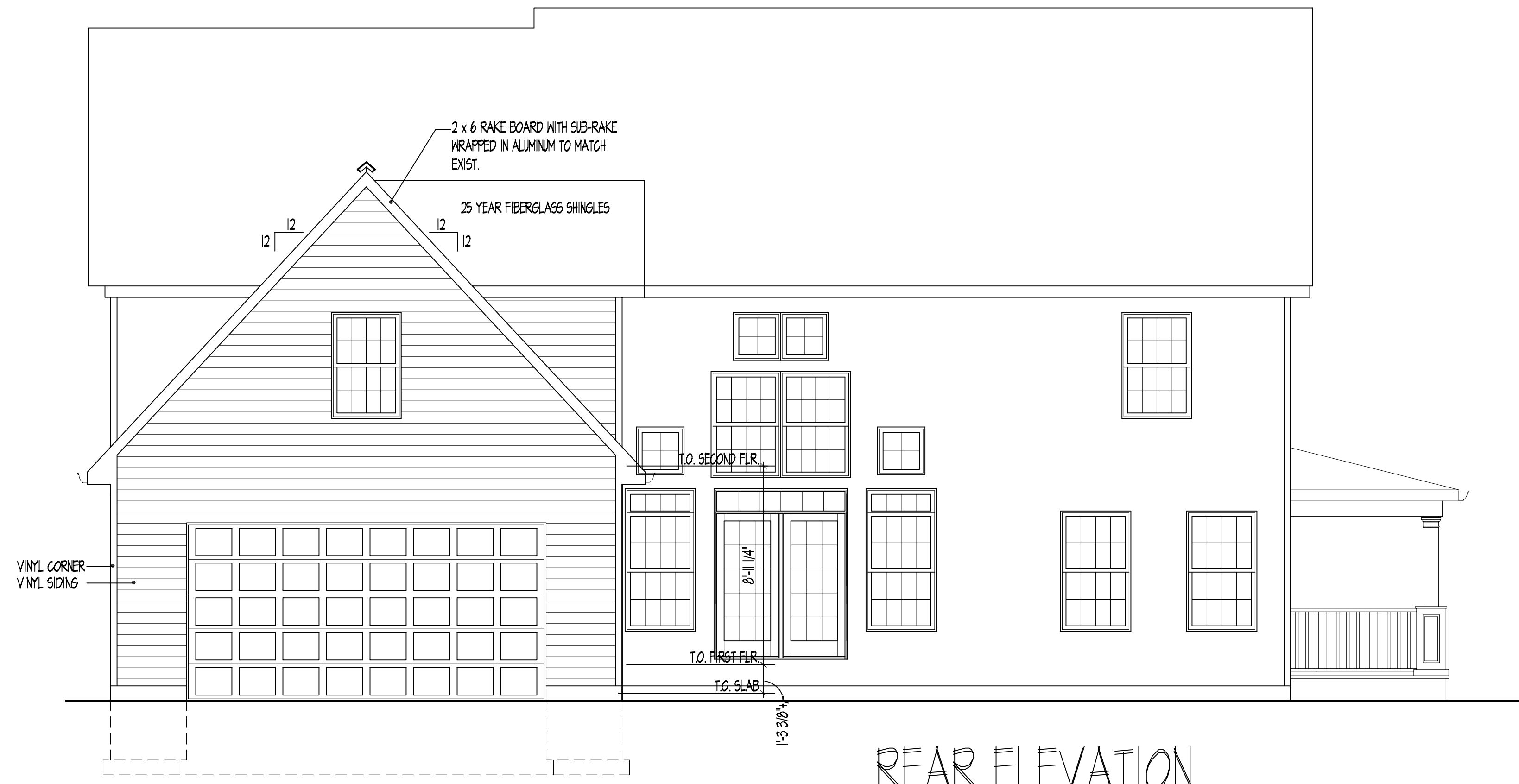


SECOND FLOOR PLAN/DEMO PLAN
DATE: JUNE 12, 2003
SCALE: 1/4" = 1'-0"

PROJECT TITLE: OLD SCAGGSVILLE ROAD

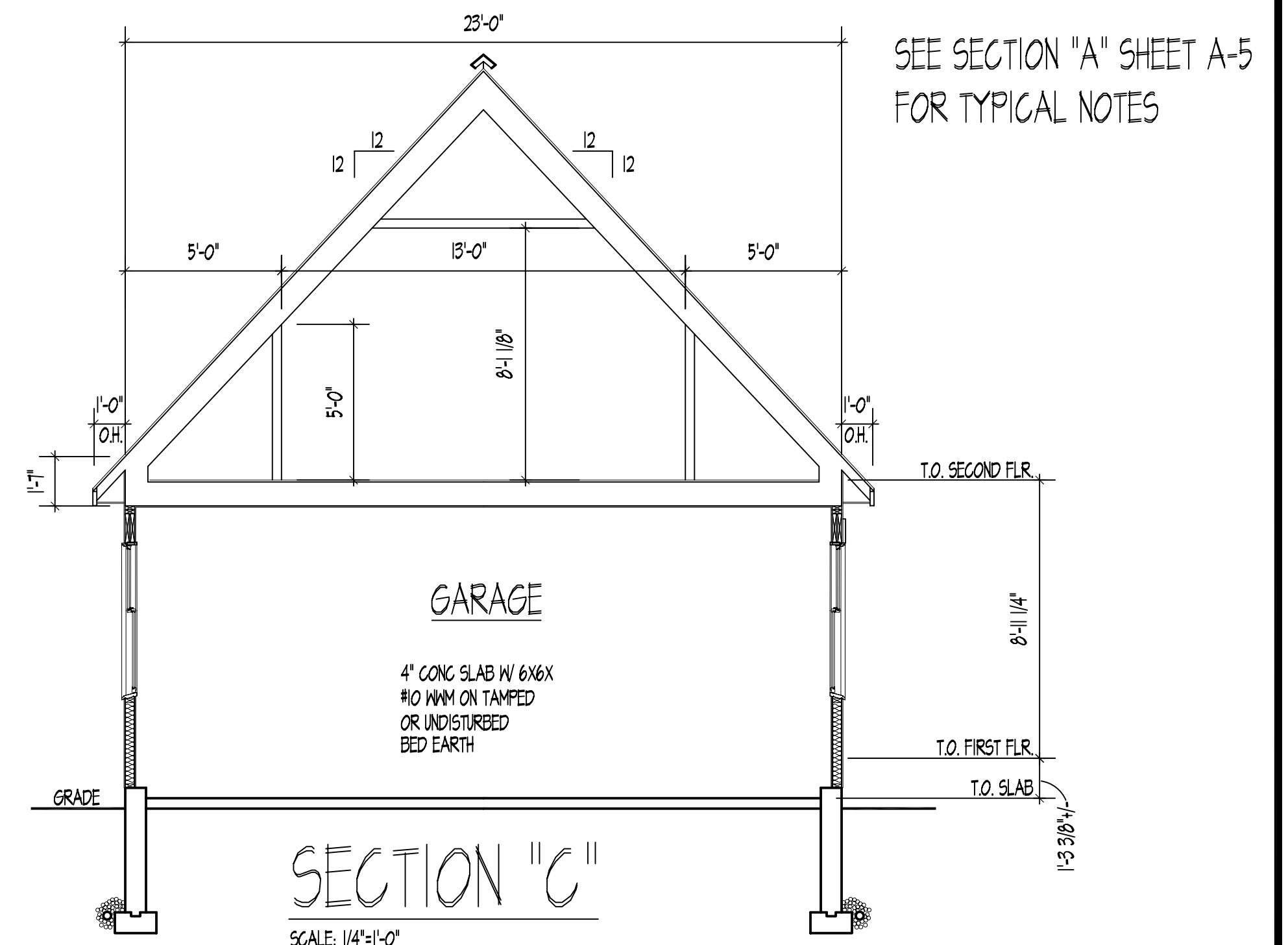
ISSUE	DATE	BY	CHKD
ISSUE			
ISSUE			
ISSUE			
ISSUE			

SHEET NO. **A-4**



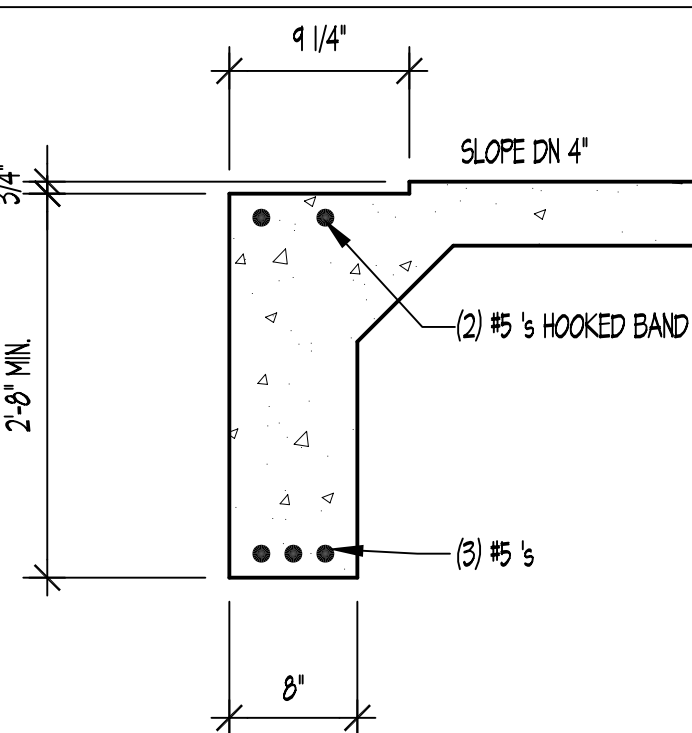
REAR ELEVATION

SCALE: 1/4"=1'-0"



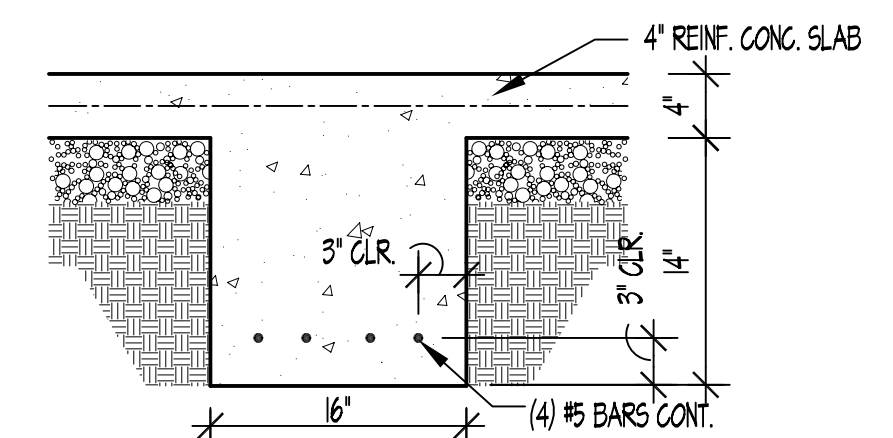
SECTION "C"

SCALE: 1/4"=1'-0"



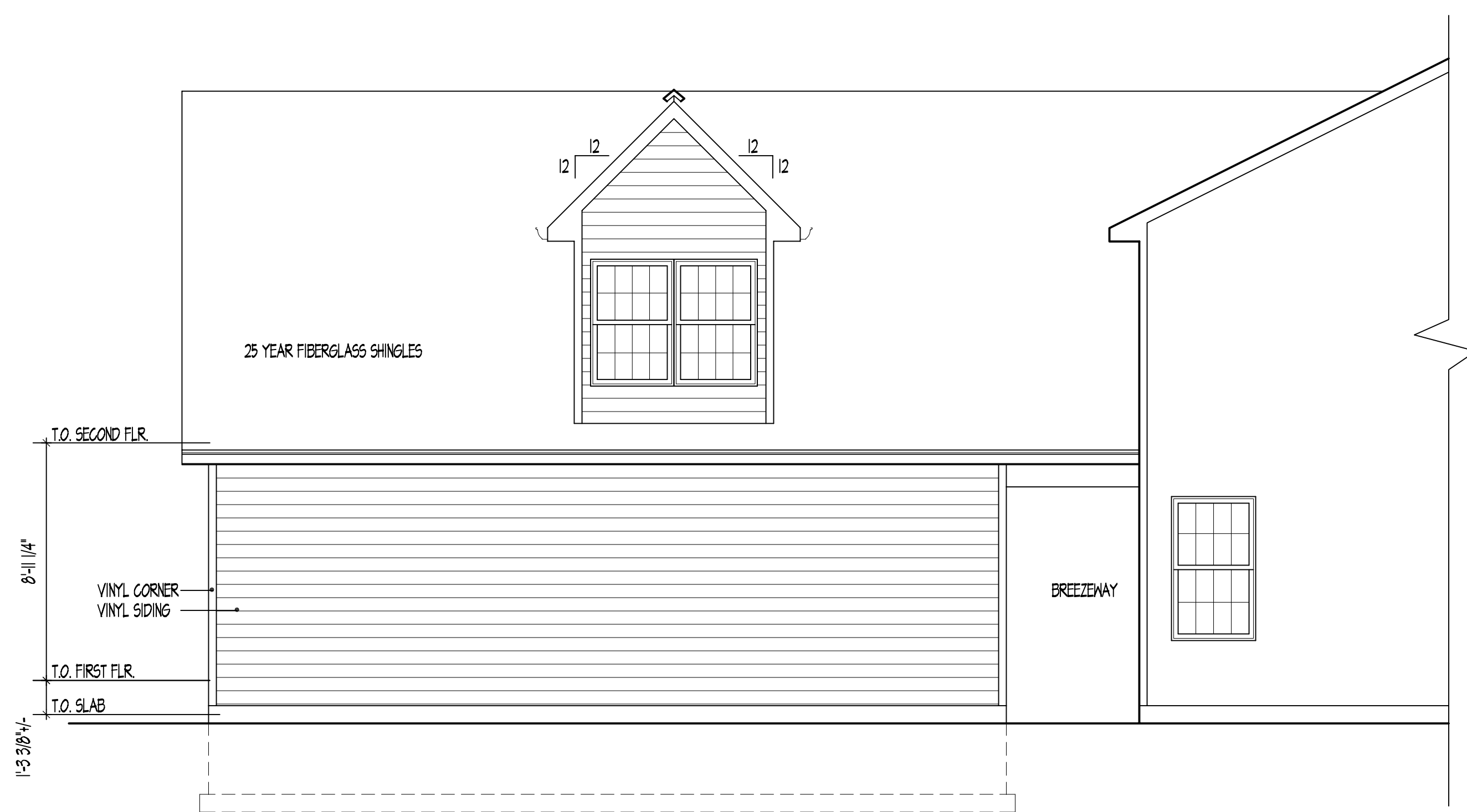
GRADE BM. AT GARAGE ENT.

1" = 1'-0"



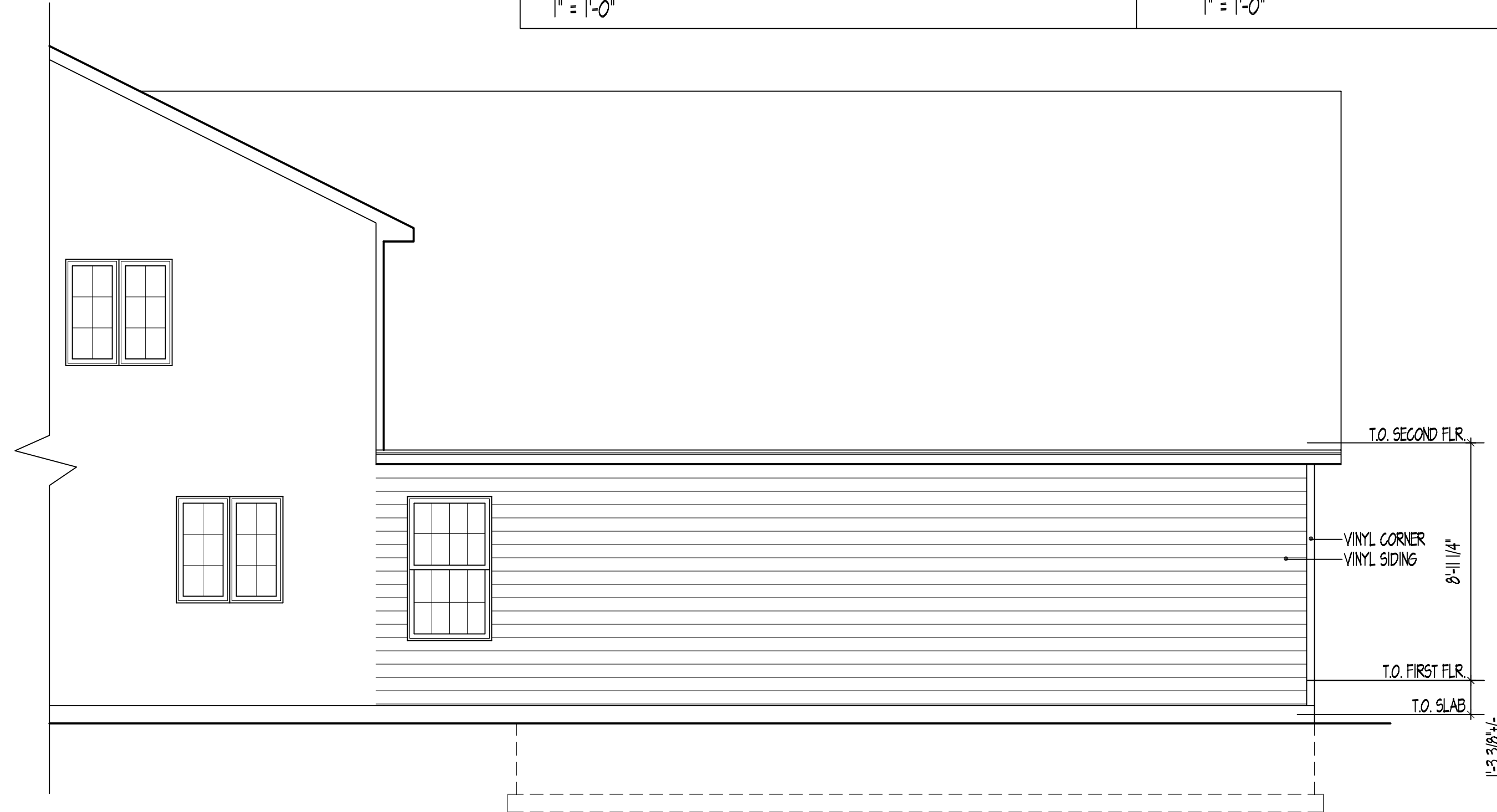
GRADE BEAM DETAIL

1" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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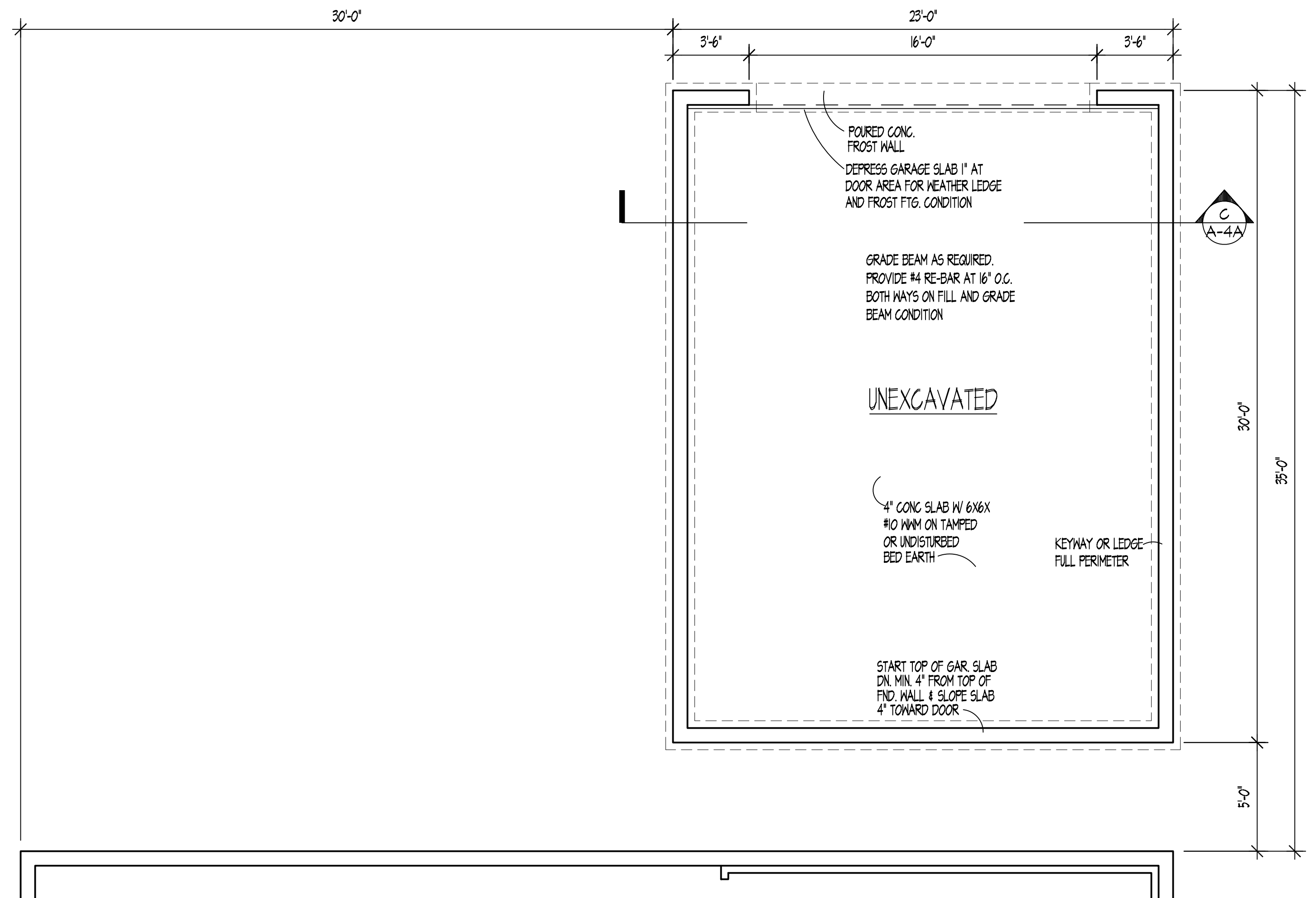
GG BUILDERS, LLC
Traditional Home Builders
8489 Heatherwood Dr. • Laurel, MD 20723

OPT. GARAGE ELEVATIONS AND SECTION

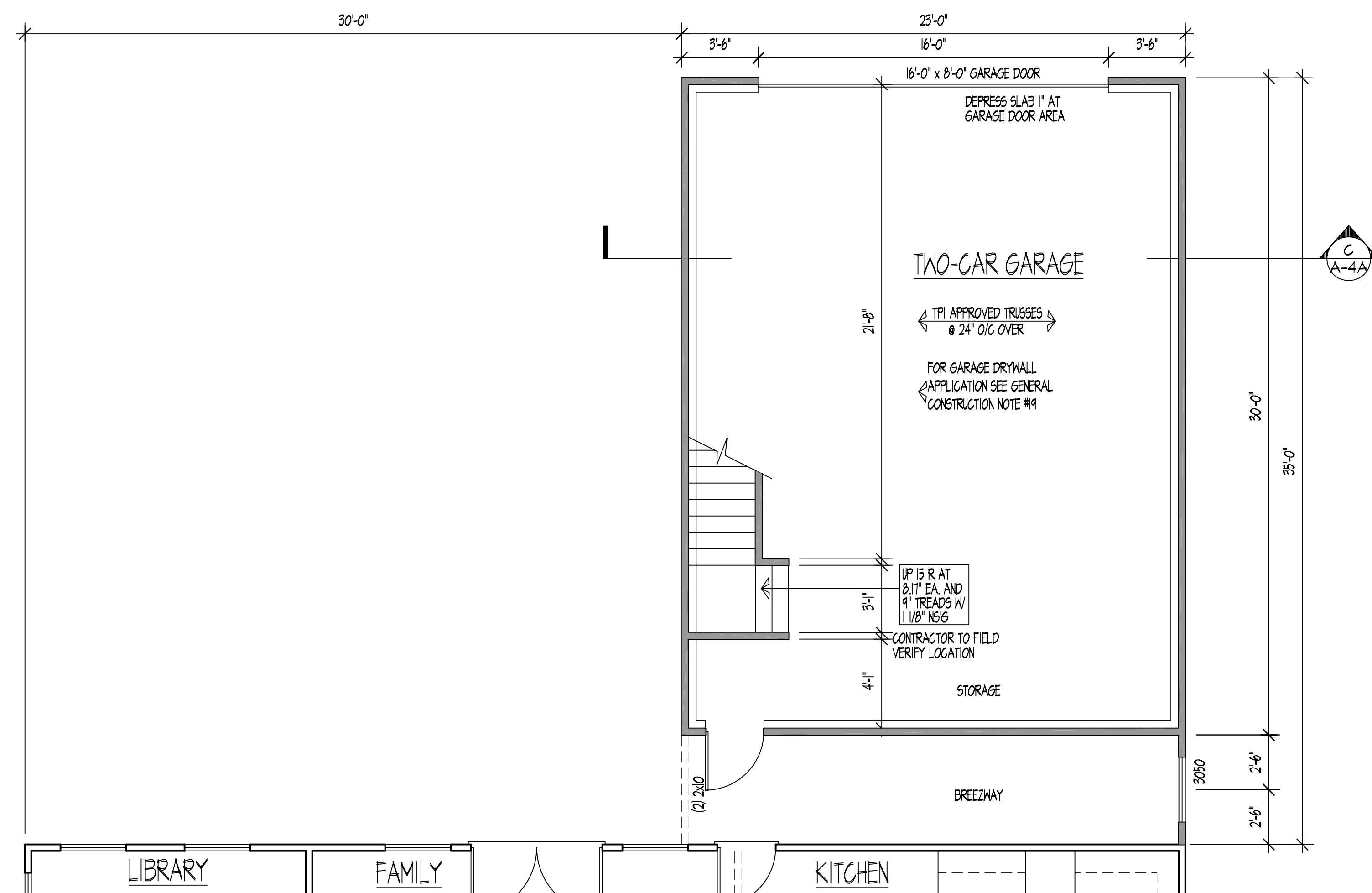
DATE: JUNE 12, 2003
SCALE: 1/4" = 1'-0"
PROJECT TITLE: OLD SCAGGSVILLE ROAD

ISSUE	
02/04/04	PERMIT AND PRICING SET
02/05/03	FIELD REVISIONS

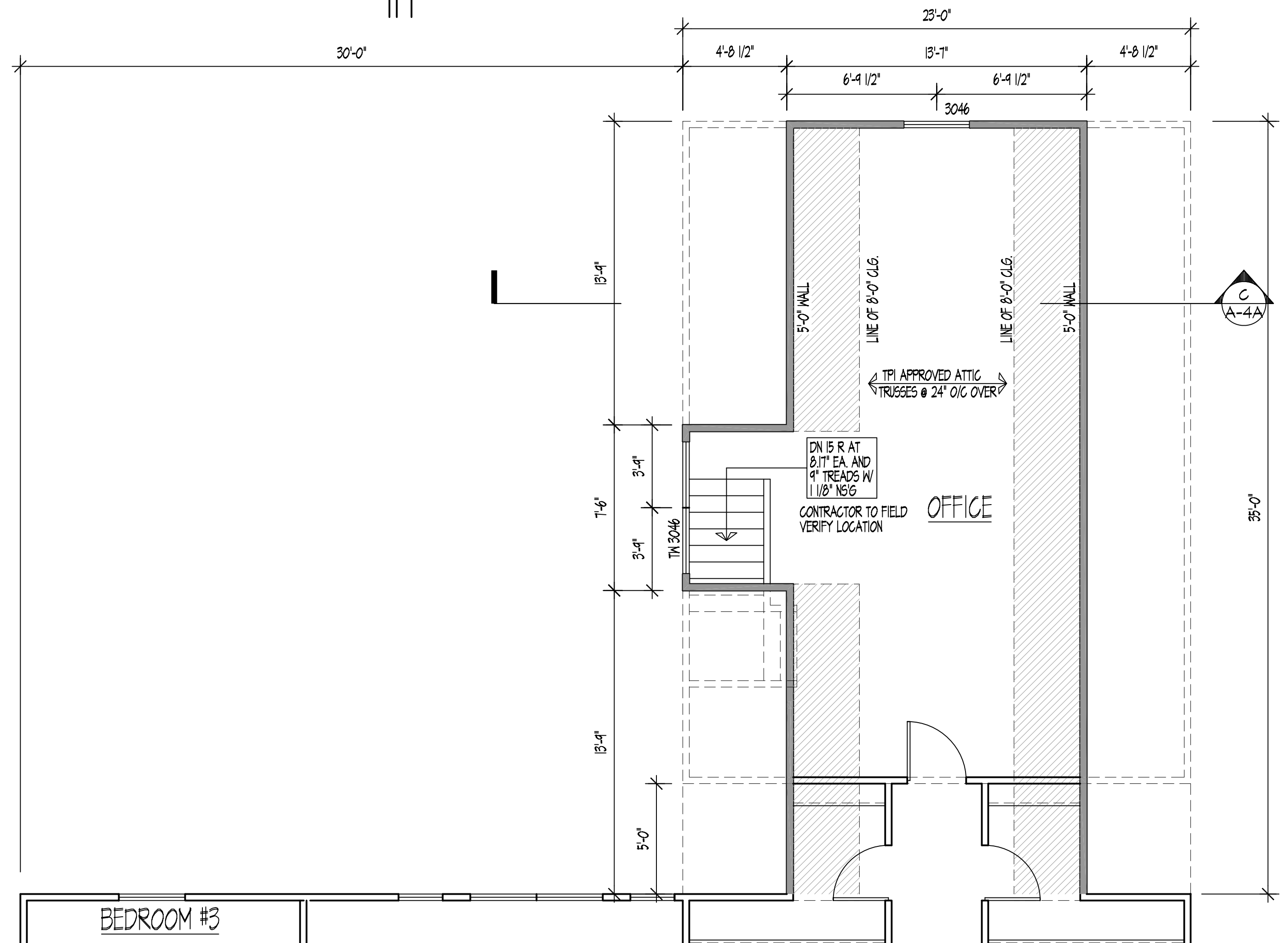
SHEET NO.
A=4A



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

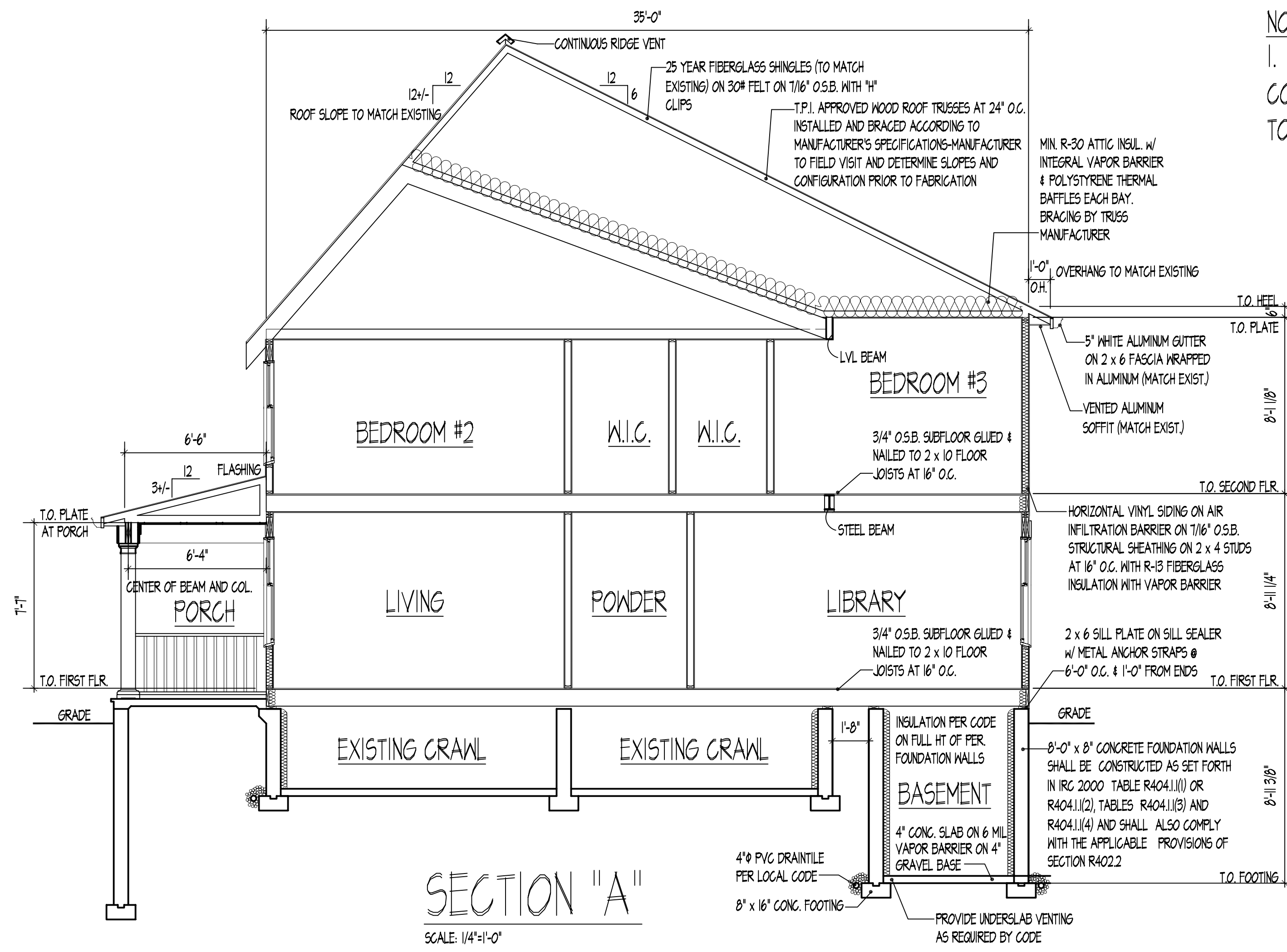
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(410) 663-4866

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OPTIONAL GARAGE PLANS
PRJ.T. NO. _____
DATE: JUNE 12, 2003
DRAWN: _____
SCALE: 1/4" = 1'-0"
PROJECT TITLE: OLD SCAGGSVILLE ROAD

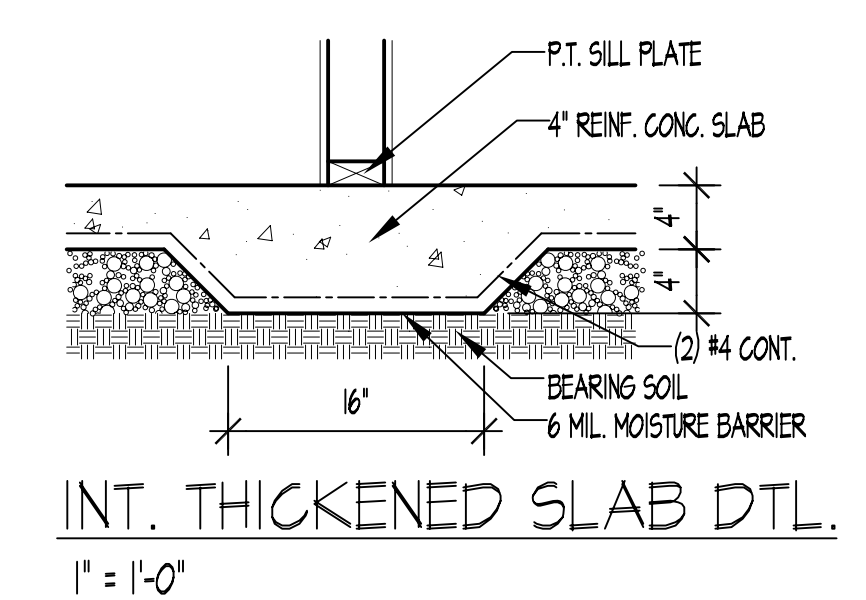
ISSUE	DATE	BY	DESCRIPTION

SHEET NO. **A-4B**



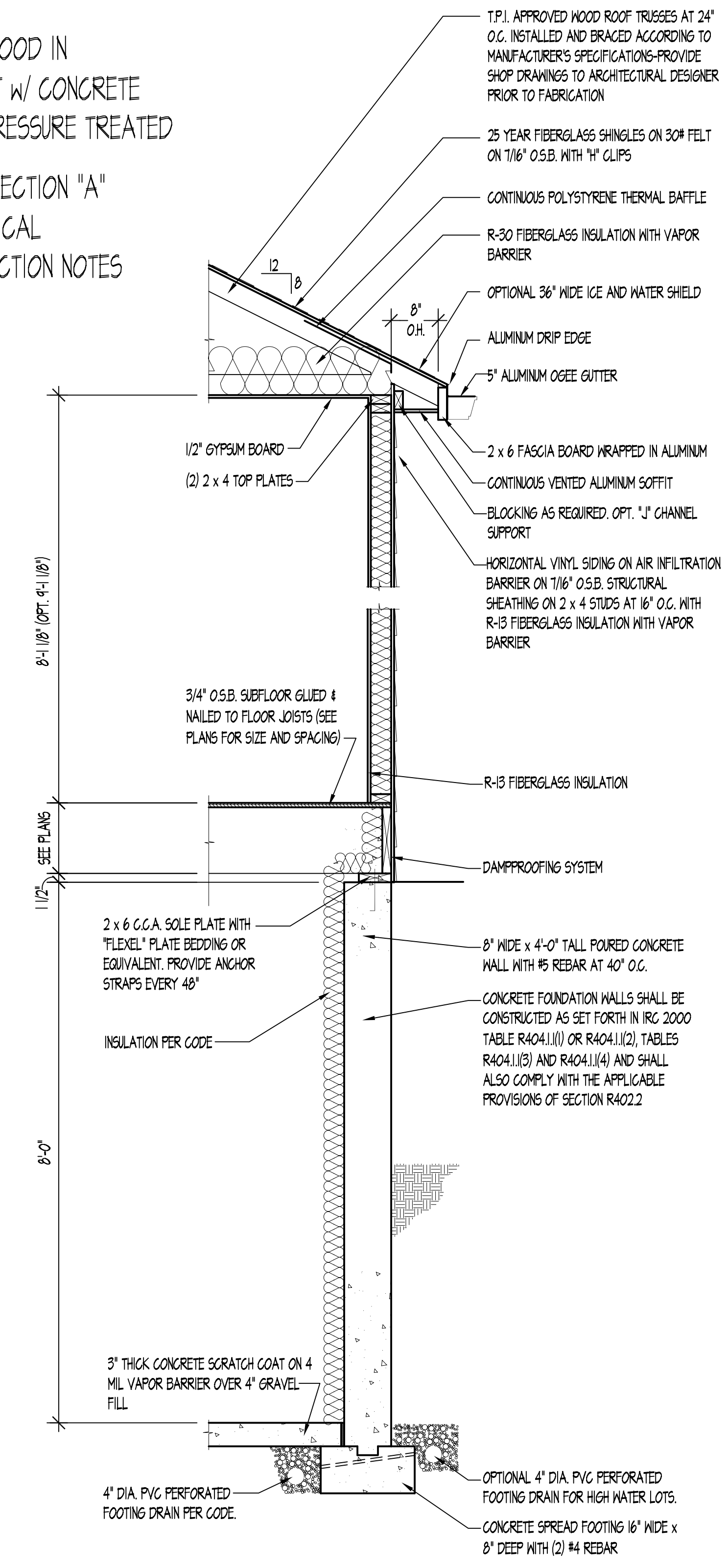
SECTION "A"
SCALE: 1/4"=1'-0"

NOTE:
1. ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED

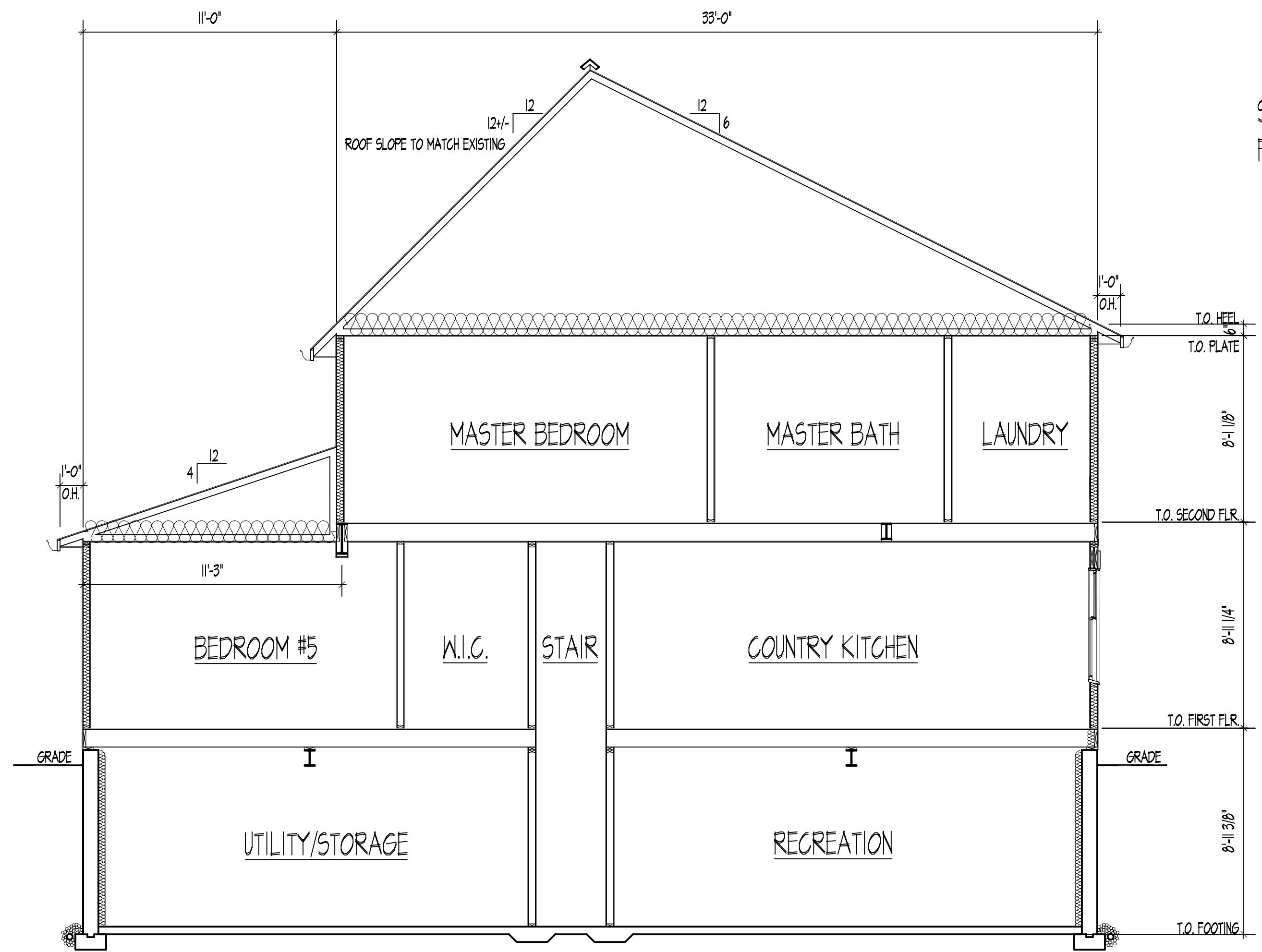


INT. THICKENED SLAB DTL.
1" = 1'-0"

NOTES:
1. ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED
2. SEE SECTION "A" FOR TYPICAL CONSTRUCTION NOTES



TYPICAL WALL SECTION
SCALE: 3/4"=1'-0"



SECTION "B"
SCALE: 1/4"=1'-0"

SEE SECTION "A" FOR TYPICAL NOTES

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SECTIONS AND DETAILS
DATE: JUNE 12, 2003
SCALE: 1/4" = 1'-0"
PROJECT TITLE: OLD SCAGGSVILLE ROAD

ISSUE
1. INITIAL DESIGN AND PRICING SET
2. CLIENT REVIEW AND REVISIONS
3. PERMITS
4. FIELD REVISIONS

SHEET NO. A-5